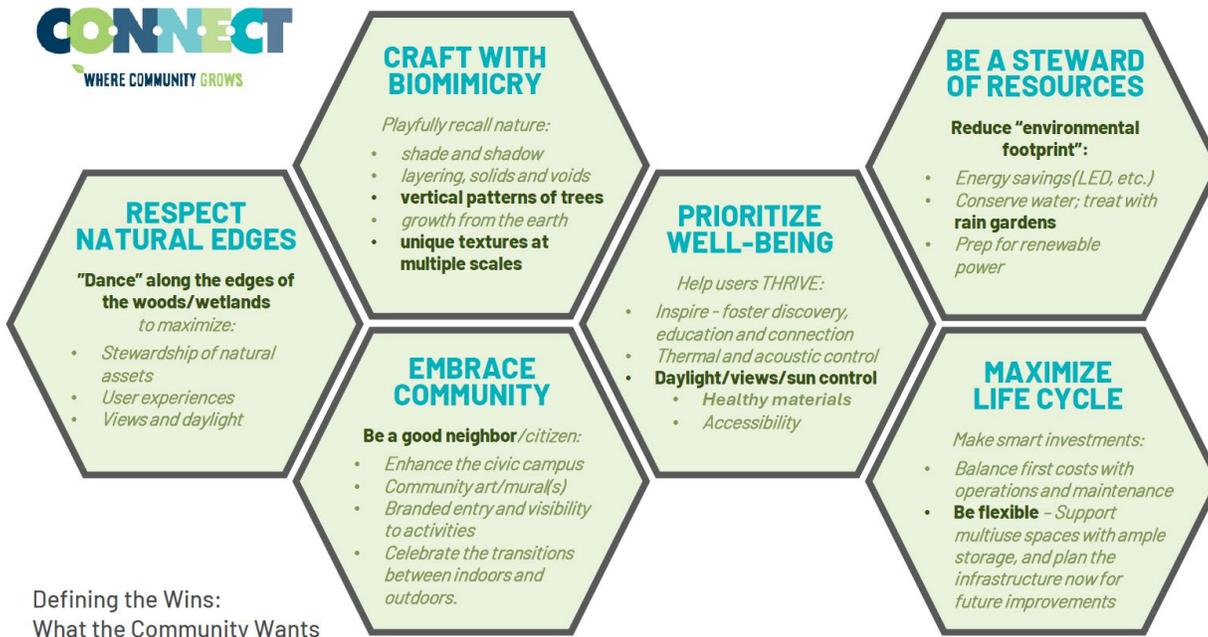


WB Parks' Connect Community Center: Sustainability Principles & FAQs

The Connect Community Center reflects responsible stewardship. We prioritized smart, efficient choices while intentionally keeping options open for the future. The facility also positions us to actively showcase and highlight our sustainability initiatives, with the goal to inspire others in the community to do the same. This can be done during a WB Parks program, a tour given by staff/ volunteers or via a sign.

Outdoors, interpretive education elements will include: roof drainage, rain gardens, grass pavers in food truck service area, and permeable pavers throughout the plaza's pedestrian pathways. Indoors, sustainability highlights will feature: daylight harvesting, solar tubes, occupancy sensors, controlled plug loads, efficient fixtures, CO₂ sensors, sustainable building materials, reused materials such as acoustic panels, and the green roof.



Questions & Answers

DURING ACTIVE CONSTRUCTION

Q: What steps are being taken to reduce waste during demolition and construction?

A: The project includes waste diversion strategies such as material recovery, reuse, on-site separation, and crushing materials for reuse. Recycling is included in the construction scope, and meaningful elements like the Pewabic tile mural will be carefully removed, saved, and reinstalled.

Q: Are these waste diversion efforts standard, and do they add cost?

A: Recycling and material recovery do add some cost, but they align with West Bloomfield Parks' sustainability goals and reduce landfill impact. Final costs will be confirmed once bids are received.

Q: Why aren't all sustainability features included right now?

A: Bid packages go out in February, and final costs will be known in March. Some items are intentionally designed as "ready-now or later" so the Commission can make informed financial decisions without limiting future sustainability opportunities.

Q: Can sustainability features be funded through grants or sponsorships?

A: Yes. WB Parks plans to issue Connect Community Center Sponsorship Opportunities in 2026. If grant opportunities arise, staff will evaluate capacity to manage them internally or through contracted support.

Q: How will WB Parks ensure contractors follow through on sustainability commitments?

A: Accountability is built into the contract through signed agreements, a guaranteed maximum price, defined schedules, and monthly reviews by Township engineers, the architect, owner's representative, and contractor. Quality and compliance are verified through permits and ongoing inspections.

Q: How is the Connect Community Center sustainable?

A: Sustainability was built into the design through energy-efficient systems, smart controls, healthy indoor air strategies, and long-term flexibility that reduces future costs.

Q: Were sustainable materials used?

A: Yes. Materials were selected for durability, health, and environmental responsibility. Plans include reusable, meaningful elements such as the Pewabic tile mural and acoustic panels.

Q: Does the building actually save energy compared to a typical facility?

A: Yes. The building exceeds energy code requirements by using efficient lighting, occupancy sensors, daylight-responsive controls, and right-sized mechanical systems.

DESIGN

Q: How does natural light factor into the design?

A: Windows and solar tubes were carefully placed to maximize daylight while controlling glare and heat, which reduces energy use and improves comfort.

Q: How were heating and cooling systems selected?

A: Energy modeling was used to choose mechanical systems that perform efficiently based on how the building will be used and our local climate.

Q: Was indoor air quality considered?

A: Absolutely. The building includes enhanced air filtration and ventilation that adjusts automatically based on occupancy, improving air quality while saving energy.

STORMWATER

Q: How does stormwater move through the site?

A: All runoff is routed through a water quality treatment structure. Plaza water filters through permeable pavers and gravel to cool and slow the flow, while roof runoff is directed to rain gardens before entering the treatment system.

Q: How is stormwater managed on-site? Why didn't the project include gray water systems?

A: Rainwater from the building is directed to on-site rain gardens rather than underground systems, allowing water to naturally soak into the ground. For this type of building, gray water systems didn't calculate a strong return. Instead, we focused on diverting all roof run-off into the rain gardens, a stormwater strategy that delivers a great environmental benefit and aligns better with site conditions.

Q: Where will permeable pavers be used, and why? Maybe put this question before the above.

A: Permeable pavers are included in pedestrian plaza areas as part of the base design. In these locations, they are supported by an aggregate subsurface and are expected to perform well while contributing to stormwater management.

Q: Why aren't permeable pavers used throughout the parking and fire lanes?

A: Due to site-specific soil conditions and stormwater constraints, permeable pavers would not perform efficiently in parking lots and roadways. Engineering consultants advised limiting permeable pavers to pedestrian areas only, where they will function effectively.

LONG-TERM

Q: How is the building addressing long-term waste reduction once it's open?

A: The site is designed with a dedicated dumpster enclosure that supports trash, recycling, and future composting. Staff are trained in responsible recycling, film plastics are diverted to local stores, and composting services are being evaluated for long-term use.

Q: How will invasive species be managed long-term on the site?

A: WB Parks will use a combination of in-house efforts and contracted services, consistent with current practices, to manage invasives and protect the new landscaping over time.

Q: Is the building prepared for future sustainability upgrades?

A: Yes. The roof is solar-ready and structurally prepared for a future green roof, making future improvements easier and more cost-effective.

Q: Is the building prepared for rooftop solar?

A: Yes. The roof is solar-ready, with designated areas and pathways already planned. This allows solar panels to be added in the future without major building modifications.

Q: What is the status of the green roof?

A: The building is fully prepared for a green roof, including structural capacity, roof membrane, and drainage. The green roof is being bid as an add-alternate, allowing the Commission to decide whether to include it now or defer it to a future phase.

Q: If the green roof is deferred, can it still be added later?

A: Yes. The system is fully designed and intentionally prepared so it can be successfully implemented in the future without redesign or rework.